



TOWN OF VIEW ROYAL

BOARD OF VARIANCE MEETING WEDNESDAY, MARCH 9, 2022 AT 7:00PM VIEW ROYAL VIRTUAL MEETING

A G E N D A

In light of the COVID-19 pandemic, this Joint Advisory Committee meeting will be held electronically. Should you wish to listen to this meeting by telephone, please use the following phone number and conference ID:

Phone: 778-402-9227

Conference ID: 608 528 218#

If you have any questions, please contact the Administration Department at 250-479-6800.

1. CALL TO ORDER

- a) Selection of chair and co-chair

2. APPROVAL OF AGENDA

(motion to approve)

3. MINUTES, RECEIPT & ADOPTION OF

Minutes of the Board of Variance meeting held March 10, 2021
(motion to adopt)

Pg. 2-3

4. APPLICATIONS

A) 2368 Lund Rd (Lot 14, Section 98, Esq Dist, Plan EPS71784)

Pg. 3-8

Applicants: C. Clark.

Variance: Retaining wall height from 1.2m to 2.8m.

B) 220 Brian Pl (Lot AM 21, Section 3, Esq Dist, Plan VIP9875)

Pg. 9-17

Applicants: L. Jarawka.

Variance: Residential driveway setback from 1.5m to 0.2m.

C) 1258 Burnside Rd W (Lot B, Section 16, Esq Dist, Plan 39445)

Pg.18-30

Applicants: K. Chan.

Variance: Retaining wall height from 1.2m to 4.8m.

5. CORRESPONDENCE

6. NEW BUSINESS

7. TERMINATION



TOWN OF VIEW ROYAL

MINUTES OF THE BOARD OF VARIANCE MEETING WEDNESDAY, MARCH 10, 2021 AT 7:00PM VIRTUAL MEETINGS

PRESENT WERE: D. Adair
P. Devonshire
K. Armstrong
J. Davison, Planner
D. Miles, Committee Clerk
L. Chase, Director of Development Services

PRESENT ALSO: 2 Applicants

1. **CALL TO ORDER** - The Chair called to order at 7:03pm

2. **APPROVAL OF AGENDA**
(motion to approve)

MOVED BY: D. Adair

SECONDED: P. Devonshire

THAT the Agenda be approved as amended.

CARRIED

3. **WELCOME TO NEW MEMBERS**

a) Selection of Chair and Co-Chair

MOVED BY: P. Devonshire

SECONDED: D. Adair

THAT P. Devonshire be selected as the Chair to the Board AND that D. Adair be selected as Co-Chair

CARRIED

4. **MINUTES, RECEIPT & ADOPTION OF**

MOVED BY: P. Devonshire

SECONDED: D. Adair

THAT the minutes from August 12, 2020 be approved as presented.

CARRIED

5. **APPLICATIONS**

a) **42 Kingham Place** (Lot 6, Section 91, Esquimalt District, Plan VIP11125)
Applicants: A & C Murray

The Planner introduced the application.

The Applicant Aaron Murray, of 42 Kingham Place, stated a clarification that the proposed structure was an extended covered walkway and not an extension on interior space.

The Board discussed the application.

MOVED BY: R. Tacoma

SECONDED: P. Devonshire

THAT the Board approve the issuance of the variance which would have the effect of relaxing the following regulation:

*Variance to the minimum front yard setback from 7.5m to 6.1m
contained in Section 8.3.4 (c) of Zoning Bylaw No. 900, 2014*

to permit the construction of an extended entryway in the front yard.

CARRIED

- 6. CORRESPONDENCE**
- 7. NEW BUSINESS**
- 8. TERMINATION: 7:10 pm**

CHAIR – P. Devonshire

RECORDING SECRETARY – D. Miles



TOWN OF VIEW ROYAL

Board of Variance Report

TO: Board of Variance

DATE: March 3, 2021

FROM: James Davison,
Community Planner

MEETING: March 10, 2021

FILE NO: 3730-20-2022-01

BOARD OF VARIANCE APPLICATION NO. 2022-01 2368 Lund Rd

APPLICANT REQUESTED VARIANCE:

THAT the Board approve the issuance of the variance which would have the effect of relaxing the regulation within Section 4.8.9 of Zoning Bylaw No. 900, 2014:

- variance to the maximum height of a retaining wall from 1.2m to 2.8m

as shown in the plans and elevations attached to the staff report dated March 3, 2022 for the property having a civic address of 2368 Lund Rd and more particularly described as:

LOT 14 SECTION 98 ESQUIMALT DISTRICT PLAN EPP71784

PURPOSE OF REPORT:

To provide the Board with information related to the subject Board of Variance Application.

BACKGROUND:

RELEVANT BYLAWS / POLICIES:

- Section 4.8.9 of Zoning Bylaw No. 900, 2014:

ATTACHMENTS:

- Schedule 1 – Subject Property Map
- Schedule 2 – Applicant's Letter
- Schedule 3 – Plans
- Schedule 4 – Photos

DISCUSSION:

The owner wishes to build a retaining wall to maximize the utility of their yard, which currently consists of sloping grass and stacked boulder retaining wall.

The variance requested is:

- variance to the maximum height of a retaining wall from 1.2m to 2.8m

The Board is to consider the variance according to the following section within the Local Government Act:

542 (1) On an application under section 540, the board of variance may order that a minor variance be permitted from the requirements of the applicable bylaw, or that the applicant be exempted from section 531 (1) [alteration or addition while non-conforming use continued], if the board of variance...is of the opinion that the variance or exemption does not do any of the following:

- (i) result in inappropriate development of the site;*
- (ii) adversely affect the natural environment;*
- (iii) substantially affect the use and enjoyment of adjacent land;*
- (iv) vary permitted uses and densities under the applicable bylaw;*
- (v) defeat the intent of the bylaw.*

STAFF RECOMMENDATION

It is staff's opinion that the requested variance is likely to benefit the subject property and the adjacent lot by providing much more useable space on both properties. While the intent of the bylaw is to prefer stepping of retaining walls, there is limited room for stepping and not a clear benefit given that the effective height of the existing stacked boulder retaining wall in this location is also substantially higher than 1.2m.

PUBLIC NOTIFICATION:

A notice of the Board's consideration of this variance application was delivered to owners and occupants of properties within a radius of 100 metres (328 feet) of the subject parcel.

SUBMITTED BY:

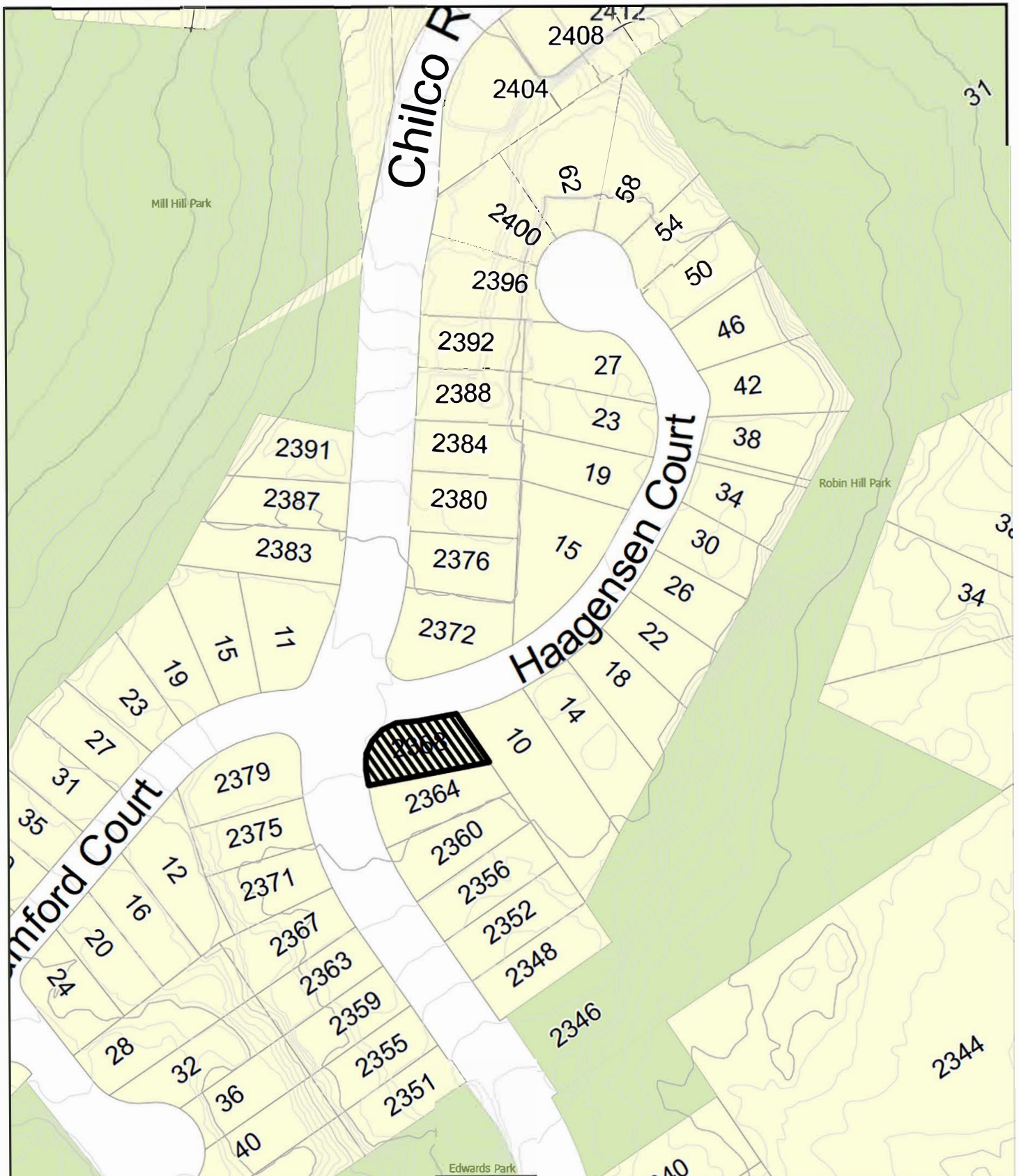


James Davison MCIP RPP
Community Planner



Subject Property Map

2368 Lund Rd



SCHEDULE 2

February 8, 2022

To the Board of Variance of View Royal

Please accept this letter in addition to my board of variance application for 2368 Lund Road
Victoria BC, V9B 0S9

RE: Back yard rock and mortar retaining wall

My wife and I (property owners of 2368 Lund road) are requesting a variance in the height limitations for a retaining wall for our back yard. This would allow us to utilize more of our property and be safer for adults and children.

Details of proposal: We wish to have a professionally constructed rock and mortar wall installed to provide multiple benefits to ourselves, our property and our neighbors. The wall would be up to nine feet high as measured from the lowest point and would step up as it went along the existing layered boulder structure until it reached grade.

Hardship conditions: The current layout of our back yard has a significant slope from the end of our patio to the drop off created by the boulders which were stacked by the developer. This is problematic for many reasons. First and foremost, it is a safety hazard. The rock and gravel drop off would cause significant injury if an individual fell. It makes the installation of a fence difficult without drilling into rock and/or losing valuable feet of our property. If we were to erect a fence along with losing back yard space, the space would have limited use due to the considerable slop.

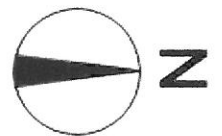
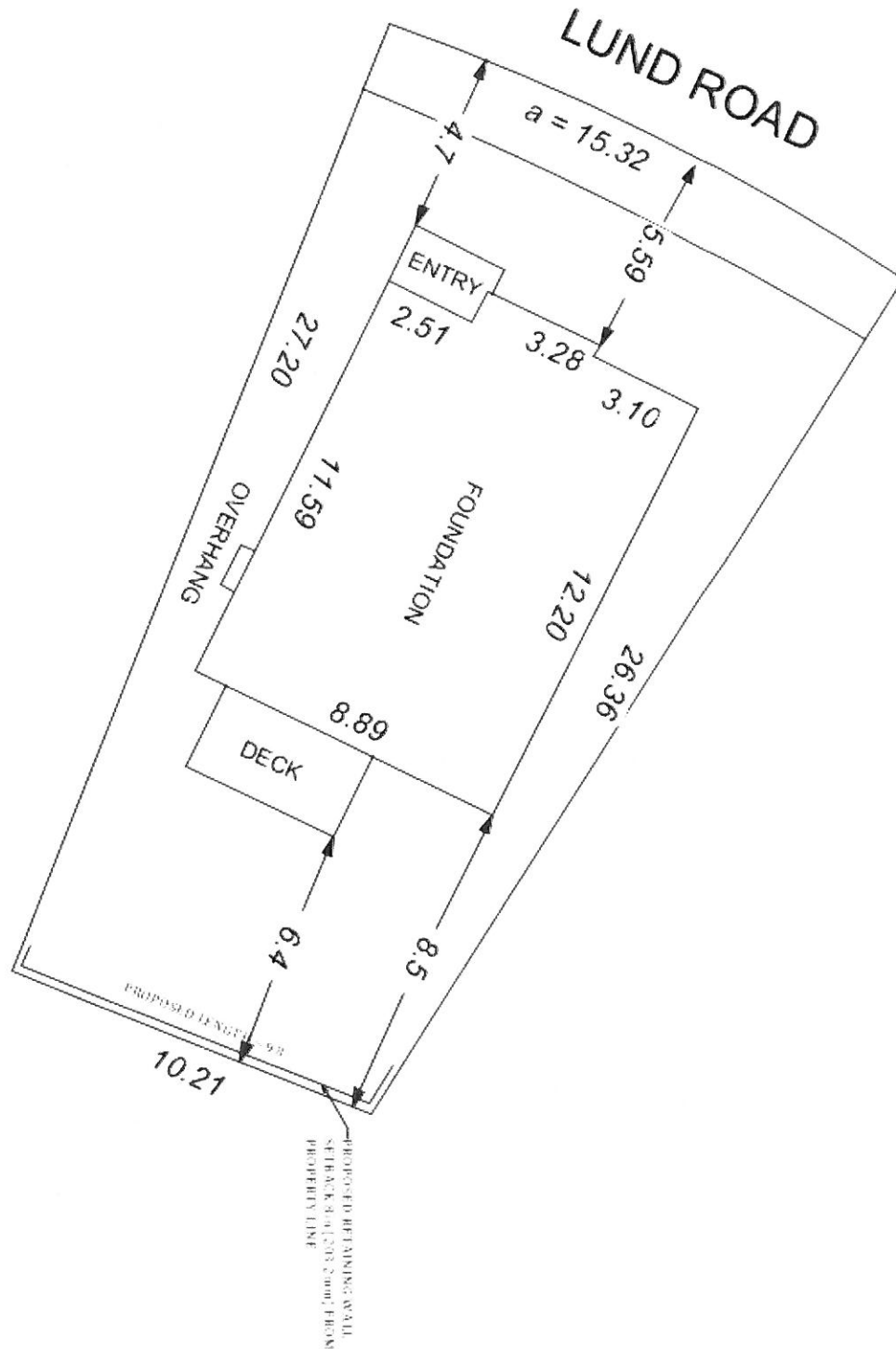
Rational: Improved safety, utility of backyard and privacy.

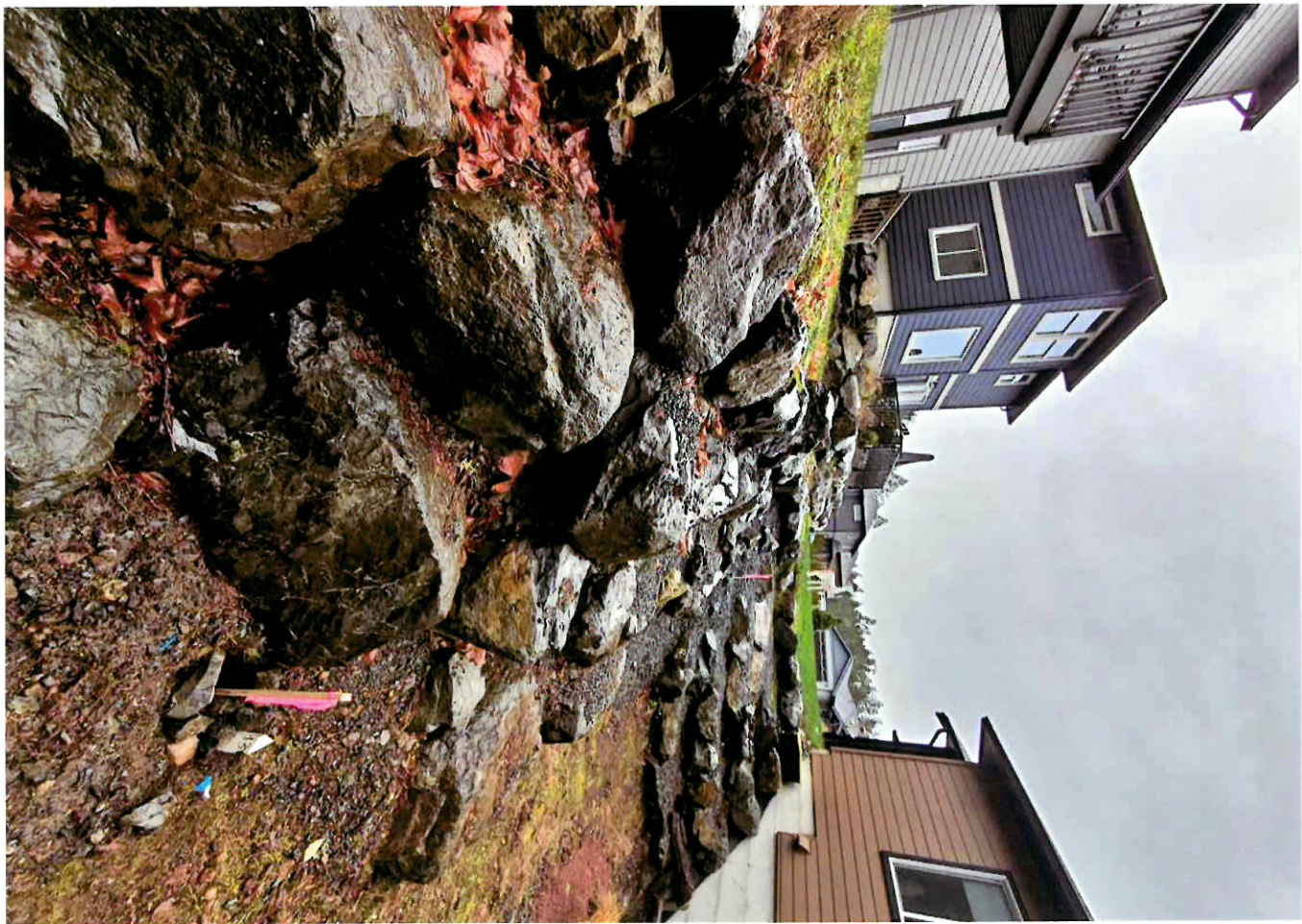
Justification: A retaining wall would allow us to "level" (while still having some slope for drainage) our back yard resulting in more utility and a safer environment. This would also allow for a fence to be constructed on saddle posts installed into the rock wall which would provide privacy between my neighbors and ourselves. The result is a safer, more usable and more private space for both my household and our neighbors.

I have had a geotechnical engineer review our plans and has approved that the ground is suitable as the base for the rock and mortar wall, I have had a property surveyor to the site to confirm and mark the property line so that CBS masonry can build the wall well within our property borders. Please find included copies of our building plans, photos of the site, certification of title and our completed application form.

Regards,
Calvin Clark

2368 LUND ROAD SITE PLAN





SCHEDULE 4



TOWN OF VIEW ROYAL

Board of Variance Report

TO: Board of Variance

DATE: March 3, 2021

FROM: James Davison,
Community Planner

MEETING: March 10, 2021

FILE NO: 3730-20-2022-02

BOARD OF VARIANCE APPLICATION NO. 2022-02 220 Brian Place

APPLICANT REQUESTED VARIANCE:

THAT the Board approve the issuance of the variance which would have the effect of relaxing the regulation within Section 5.14.3.d of Schedule B: Supplementary Design Guidelines within Subdivision and Development Servicing Bylaw No. 985:

- variance to the minimum distance of the outer edge of a driveway crossing from 1.5m to 0.2m.

as shown in the plans and elevations attached to the staff report dated March 3, 2022 for the property having a civic address of 220 Brian Place and more particularly described as:

AMENDED LOT 21 (DD J131614), SECTION 3, ESQUIMALT DISTRICT, PLAN 9875

PURPOSE OF REPORT:

To provide the Board with information related to the subject Board of Variance Application.

BACKGROUND:

RELEVANT BYLAWS / POLICIES:

- Section 5.14.3.d of Schedule B: Supplementary Design Guidelines within Subdivision and Development Servicing Bylaw No. 985:

ATTACHMENTS:

- Schedule 1 – Subject Property Map
- Schedule 2 – Applicant's Letter
- Schedule 3 – Plans
- Schedule 4 – Letter of Support

DISCUSSION:

The owner expresses that the 1.5 metre distance from the property line to the driveway crossing would impose a hardship and not provide any benefit due to the unique relationship between the driveway and the property line configuration.

The variance requested is:

- variance to the minimum distance of the outer edge of a driveway crossing from 1.5m to 0.2m.

The Board is to consider the variance according to the following section within the Local Government Act:

542 (1) On an application under section 540, the board of variance may order that a minor variance be permitted from the requirements of the applicable bylaw, or that the applicant be exempted from section 531 (1) [alteration or addition while non-conforming use continued], if the board of variance...is of the opinion that the variance or exemption does not do any of the following:

- (i) result in inappropriate development of the site;*
- (ii) adversely affect the natural environment;*
- (iii) substantially affect the use and enjoyment of adjacent land;*
- (iv) vary permitted uses and densities under the applicable bylaw;*
- (v) defeat the intent of the bylaw.*

STAFF RECOMMENDATION

It is staff's opinion that the requested variance is benefitting the subject property and the adjacent lot without defeating the intent of the bylaw or impacting other properties.

PUBLIC NOTIFICATION:

A notice of the Board's consideration of this variance application was delivered to owners and occupants of properties within a radius of 100 metres (328 feet) of the subject parcel.

SUBMITTED BY:



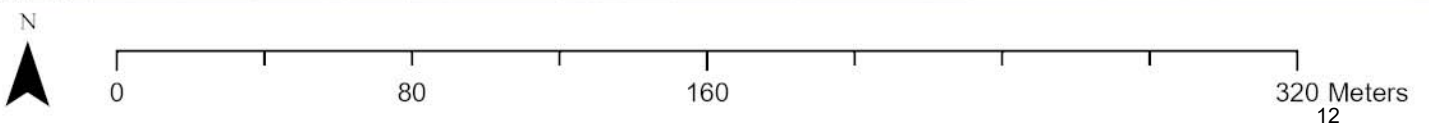
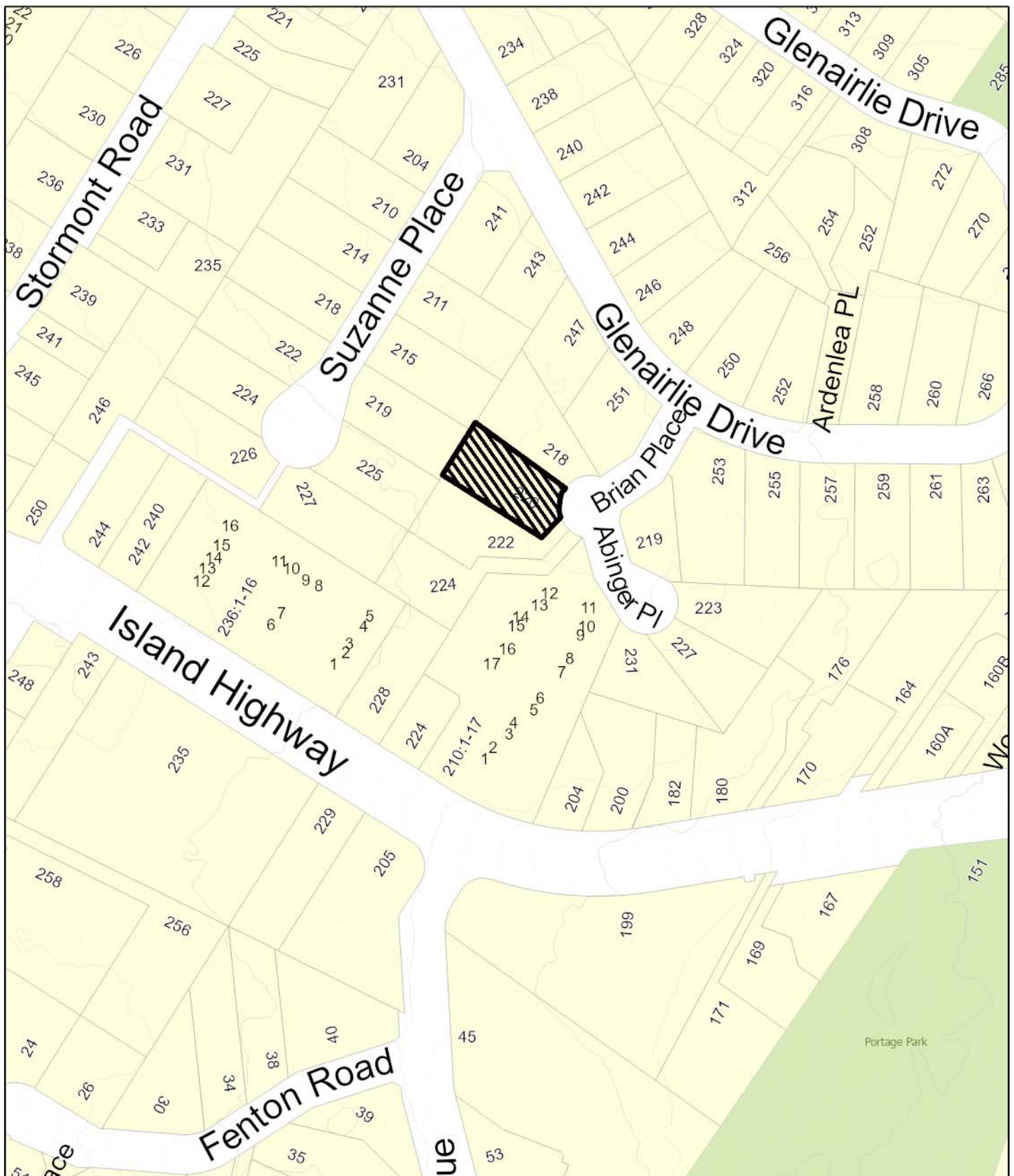
James Davison MCIP RPP
Community Planner



Subject Property Map

220 Brian Place

SCHEDULE 1



Great White North Projects



2875 Rockwell Ave.
Victoria, BC, V9A 2M8
250.328.9592
info@greatwhiteprojects.ca

February 4, 2022

Town of View Royal Development Services
45 View Royal Ave.
Victoria, BC V9B 1A6

To: Board of Variance,

Details of Proposal and Requested Variance:

This variance application is for a Driveway Crossing Permit at 220 Brian Place.

The applicants' proposed driveway modification is in conflict with Schedule B, Section 5.14.3 (d) of View Royal's Subdivision and Development Servicing Bylaw No. 985.

Section 5.14.3 (d) states "The outer edge of a Driveway Crossing shall not be closer than one and one half (1.5) metres to the extension of the adjoining lot boundary as if continued into the Town's Street."

Due to the angle of the property line the proposed driveway would eventually cross the extension of the adjoining boundary. The proposed driveway would terminate approximately 8 inches across the extension of the adjoining lot boundary as if it continued to the Town's Street (see attached photos). The applicant is requesting approval of the proposed driveway crossing, which would require a variance of section 5.14.3 (d).

Hardship:

Currently, a narrow concrete driveway connects 220 Brian Place with the Road (the "Current Driveway"). This driveway crosses the boulevard and is located more than 1.5 metres to the extension of the adjoining lot boundary. The applicants currently use the Current Driveway as well as an area between the Current Driveway and the adjoining lot boundary to access the paved parking area adjacent to the house. This area is the "Proposed Driveway").

The project would see the Proposed Driveway paved with paving stones from the street access on the boulevard to the parking area on the property. This area is currently grass and dirt, is lower than the Current Driveway, and is uneven and seasonally muddy. As a result, it's function and aesthetic are not optimal.

Rationale and Justification:

As this area is currently being used for vehicular access, the use of the area encompassing the Proposed Driveway would not change as a result of the proposed project. The Proposed Driveway would not affect the use and enjoyment of adjacent properties, as there is a substantial amount of grass and open space between the property line and any buildings or driveway on the adjacent property, and the use of the area would remain the same. There are no impacts to trees, privacy or views. The Proposed Driveway would not result in inappropriate development of the site, and there would be no impacts to permitted uses or densities.

The Proposed Driveway would enhance the property in terms of function and aesthetics. The Proposed Driveway complements and improves the conditions of the surrounding area, by constructing a paving stone driving access over an uneven, frequently muddy, often driven-over area.

Sincerely,



Lukasz Jarawka

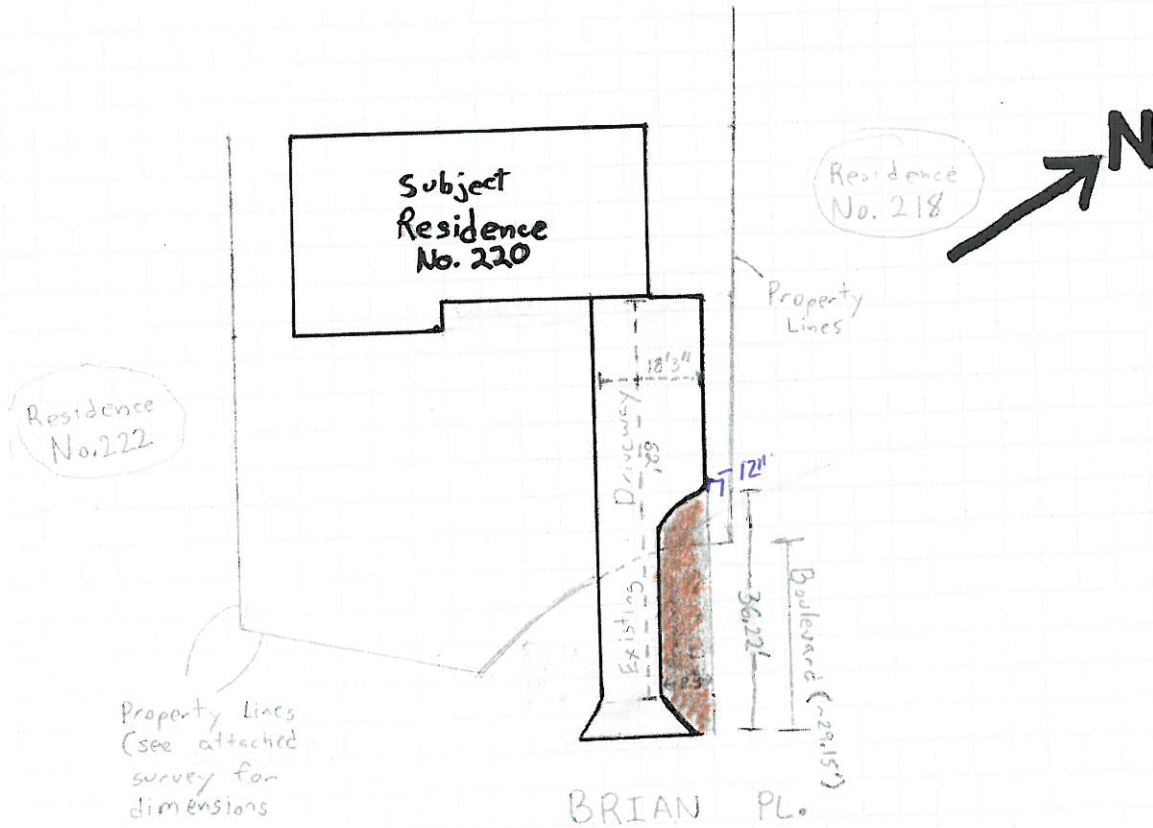
218 Brian Pl.

220 Brian Pl.

White line represents approx. location of the property boundary

Proposed Driveway extension is to the left of this red line

Approx. distance past property boundary extension and the proposed driveway is 8 inches



SCALE
25.6'

Proposed driveway expansion (approx 8.3' x 36.22')
Elevation & grade will match that of existing driveway.

Proposed driveway expansion will be constructed with interlocking paving stone.

Leonard Orrico
B.C. LAND SURVEYOR

4000 QUADRA STREET
VICTORIA, B.C. V8N 1K7
TELEPHONE: (604) 470-1012

OUR FILE: 36

577-2(81)

RECEIVED
MAY 20 1988

CAPITAL REGIONAL DISTRICT
Building Inspection Department

In the matter of:

Amended
Lot 21 (DD J131614)
Esquimalt

Section 3
Plan 9875

District

Owner: Bowles

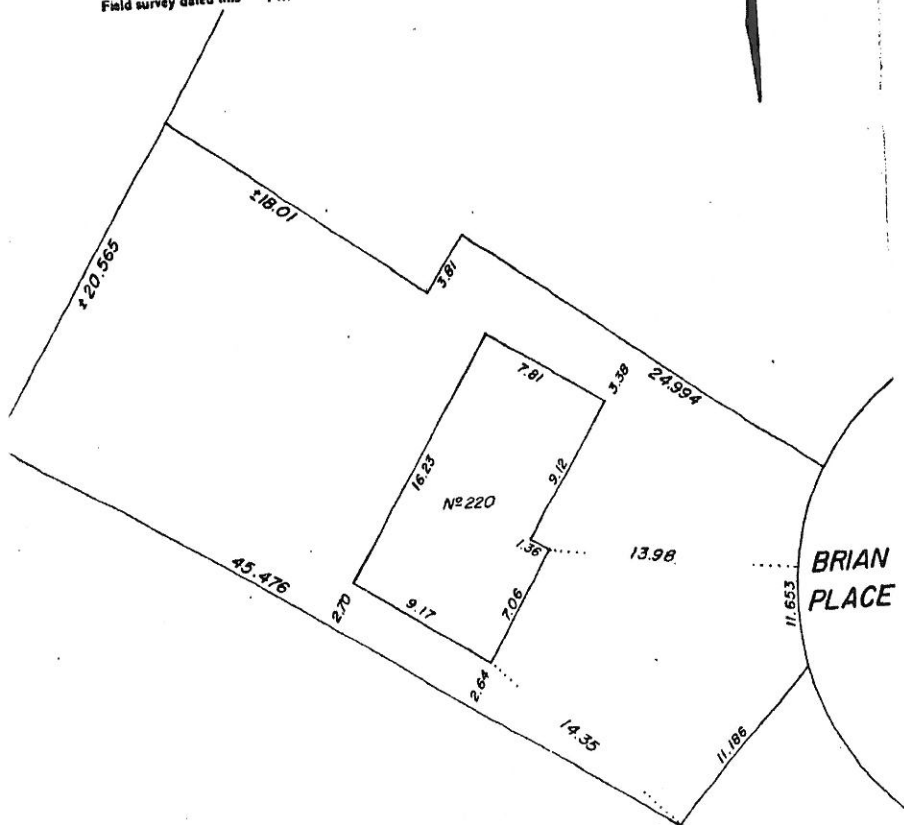
Contractor:

Solicitors: Anniko Hunter

I have inspected the residential property shown
and hereby certify that the said structure is situate with respect to nearby boundaries
as shown on the sketch below. This document is prepared for mortgage or building
inspection purposes only.

Leonard Orrico
B.C.L.S.

Field survey dated this 4th day of May, 1988.



February 12, 2022

Board of Variance

I have spoken to my neighbors Kim and Sue Bowles at 220 Brian Pl. Victoria, BC V9B 1N8. And understand and support their wish to extend the driveway to have a place to park their truck.

I am the owner of the home next door at 218 Brian Pl. Victoria, BC V9B 1N8.

Cornel Olauson

A handwritten signature in dark ink, appearing to read 'Cornel Olauson', with a long horizontal flourish extending to the right.



TOWN OF VIEW ROYAL

Board of Variance Report

TO: Board of Variance

DATE: March 3, 2021

FROM: James Davison,
Community Planner

MEETING: March 10, 2021

FILE NO: 3730-20-2022-03

BOARD OF VARIANCE APPLICATION NO. 2022-03 1258 Burnside Rd W

APPLICANT REQUESTED VARIANCE:

THAT the Board approve the issuance of the variance which would have the effect of relaxing the regulation within Section 4.8.9 of Zoning Bylaw No. 900, 2014:

- variance to the maximum height of a retaining wall from 1.2m to 4.8m

as shown in the plans and elevations attached to the staff report dated March 3, 2022 for the property having a civic address of 1258 Burnside Rd W and more particularly described as:

LOT B SECTION 16 ESQUIMALT DISTRICT PLAN VIP39455

PURPOSE OF REPORT:

To provide the Board with information related to the subject Board of Variance Application.

BACKGROUND:

RELEVANT BYLAWS / POLICIES:

- Section 4.8.9 of Zoning Bylaw No. 900, 2014:

ATTACHMENTS:

- Schedule 1 – Subject Property Map
- Schedule 2 – Applicant's Letter
- Schedule 3 – Plans
- Schedule 4 – Correspondence

The variance requested is:

- variance to the maximum height of a retaining wall from 1.2m to 4.8m

The Board is to consider the variance according to the following section within the Local Government Act:

542 (1) On an application under section 540, the board of variance may order that a minor variance be permitted from the requirements of the applicable bylaw, or that the applicant be exempted from section 531 (1) [alteration or addition while non-conforming use continued], if the board of variance...is of the opinion that the variance or exemption does not do any of the following:

- (i) result in inappropriate development of the site;*
- (ii) adversely affect the natural environment;*
- (iii) substantially affect the use and enjoyment of adjacent land;*
- (iv) vary permitted uses and densities under the applicable bylaw;*
- (v) defeat the intent of the bylaw.*

STAFF RECOMMENDATION:

It is staff's opinion that the requested variance both substantially affects the use and enjoyment of adjacent land (item iii above) and likely defeats the intent of the bylaw (v). The 1.2m retaining wall height limit rationale was that the Town prefers that natural grade be utilized wherever possible and that stepping retaining walls is the preferred approach.

PUBLIC NOTIFICATION:

A notice of the Board's consideration of this variance application was delivered to owners and occupants of properties within a radius of 100 metres (328 feet) of the subject parcel.

SUBMITTED BY:



James Davison MCIP RPP
Community Planner



Subject Property Map

1258 Burnside Rd W

SCHEDULE 1



February 15, 2022

Dear the Town of View Royal Council,

We are the residents of 1258 Burnside Road West. After purchasing our property in 2019, we have grown to love the neighbourhood. We specifically value the privilege to have mature fir trees on and around the property. This lot is unique in location and in elevation. What we are purposing in front of you today is the request to obtain building permits to construct a retaining wall(s) under the direction of a geo structural engineer. The geo structural engineer is responsible for designing the wall and overseeing the construction. Having a retaining wall will alleviate many hardships and safety concerns we are currently facing with due to the substantial elevation change on our property. Currently on our 13,000 square foot lot, we only have about 100 square feet of flat ground. The driveway has an oval round-a-bout with sharp corners over a steep bank that is about 10 feet down. We do not have any flat pavement or part of our driveway; therefore, all our vehicle repairs must be done dangerously on a steep hill. It is our hope, to have a level green space as well as a fairly level black top for parking. We live on a pan-handle lot tucked away from the Burnside Road and can not be seen from any other roads. During our construction we will not impact vehicle traffic along Burnside, and we will not be inconveniencing neighbouring properties.

After having our first child in the Spring, we would love to provide our son with an opportunity of an active outdoor lifestyle. Currently, our property does not have a safe level space for him to play. With the slope of our driveway, balls and toys would roll down on to Burnside Road or down the steep embankment. In the past, our dog's balls have rolled down our driveway on to Burnside Road due to the elevation of the driveway. We want to avoid any unsafe situations for our family as well as for vehicles that are travelling along Burnside Road. With building a retaining wall, this will help level out our property and would provide a safer space for both our son and dogs to enjoy.

Thank you for taking the time to read our letter and for your consideration of our proposal. We look forward to working together on this project to help create a functioning space on our property. We

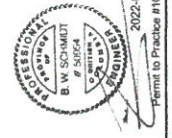
would like to invite all members of council to come view our unique property to see the difficulties and challenges we have been faced with.

Thank- you,
Kayla & Sean
1258 Burnside Road West



NOTE:
PLS REFER TO DWG NOS RW-3, RW-4
FOR ELEVATIONS 1, 2 & 3.

SITE PLAN
SCALE 1:500



PROJECT NO: 21-110	 Coast Geotechnical 778-400-8090 917 Echo Valley Place Victoria, B.C		BOULDER CONCRETE INFILL WALL 1258 BURNSIDE ROAD, VIEW ROYAL	RW-2	NO. DATE	REVISIONS:
DATE: FEB 14, 2022						
DRAWN BY: JAA	APPRO: B.S.					

1.0 GENERAL

- 1.1 In these notes, the Engineer is Coast Geotechnical Consulting Ltd.
- 1.2 The work described and shown involves the construction of a BOULDER CONCRETE INFILL RETAINING WALL, herein referred to as the 'WALL'.
- 1.3 The client is responsible for all local regulatory submissions & permits associated with the retaining wall construction.
- 1.4 The Contractor shall confirm the locations and elevations of all foundations and utilities which may be affected by the work and report any discrepancies to Coast Geotechnical (778-400-8090).
- 1.5 The Contractor is responsible for constructing the wall within the subject property. Contractor to complete work with care to ensure no damage to adjacent properties. Any damage caused during construction is the responsibility of the Contractor.

2.0 RETAINING WALL DESIGN:

- 2.1 This retaining wall has been designed in general accordance with the following guidelines and bylaws:
EGBC Professional Practice Guidelines - Retaining Wall Design V1.1 (February 2021)
- 2.2 Minimum Factors of Safety:
Structural Retaining Wall:

Design Item:	Static	1 in 2475
Sliding	1.5	1.1
Overturning	2.0	1.1
Bearing	2.0	1.1
Global Stability	1.5	1.1

- 2.3 Design Seismic Event:
2% in 50 Year (1 in 2475) probability of exceedance
Site Location: 48.46°N, 123.42°W
PGA: 0.585g, per National Building Code Seismic Calculator

- 2.4 Wall Design Parameters:
Facing Batter: 14 degrees relative to vertical (1H:4V)
Minimum toe embedment: 0.30m where level beyond toe, 0.60m where sloping beyond toe
- 2.5 Site Conditions:
Water table assumed below base of wall. Wall drainage provided.
Subgrade at base of wall = Bedrock or Dense Till
Uniform vehicle or structure surcharge of 12 kPa

DRAWING LIST:

NOTES:.....
SITE PLAN..... RW-1
ELEVATIONS..... RW-2
ELEVATION & SECTION..... RW-3
DETAILS..... RW-4
..... RW-5

3.0 SPECIFICATIONS:

- 3.1 SUBGRADE:
Stacked boulder wall to be founded on approved undisturbed native subgrade, overlain by a leveling pad, sloped at 5% or greater into slope.
- 3.2 LEVELLING PAD:
Leveling pad to be placed prior to wall construction. Leveling pad to be a minimum of 0.15m in thickness and consist of 75mm minus crushed gravel, or approved equivalent. Leveling pad to be graded level, and compacted using a large vibrating plate tamper to 95% modified Proctor maximum dry density, or judged equivalent. Prepare leveling pad such that base rock slopes a minimum 5% into slope.
- 3.3 CONCRETE + ROCK INFILL:
Concrete + rock infilling to be carried out with each row of face boulders. Rock fill is to be 150mm - 600mm rocks to provide voids for concrete. Concrete to be carefully placed to ensure coverage through concrete + rockfill zone. All voids to be eliminated. Use vibratory stinger or rodding as necessary.
- 3.4 BOULDERS:
Boulders to be 1 - 1.5m in nominal diameter. Wall may taper to smaller boulders at the top. Boulders must be of igneous origin (non-erodible), shale and sandstone are not acceptable. See RW-4 for stacking requirements.
- 3.5 BACKFILL:
Backfill must consist of free-draining coarse rock (10 - 300mm diameter) with less than 2% fines (10 kg Class Rip-Rap or Select Blast Rock). Backfill to be compacted in 300mm lifts using a 1000lb vibrating plate tamper with a minimum of 6 passes.
- 3.6 EMBEDMENT:
Where the ground is level beyond toe of wall, 0.3m below toe embedment to be provided. Where the ground slopes beyond toe of wall 0.6m of embedment to be provided. Embedment fill to consist of well-compacted 75mm minus crushed gravel, or approved equivalent.
- 3.7 DRAINAGE:
Wall drain to be provided. Wall drain to consist of 100mm perforated PVC pipe surrounding by 150mm thick layer of 19mm clear crushed gravel wrapped in non-woven geotextile. Pipe to be graded at a minimum of 1% to suitable gravity outlet, or municipal storm sewer.
In lieu of a wall drain, weep drains may be placed at ±2.4m on center spacing. Weep drain to consist of 100mm solid PVC pipe. Weep drains to extend from backfill zone through concrete + rock fill and wall facing. Connect weep hole to wall drain via tee fitting.
Weep drains to be 100mm Ø solid core ABS or PVC 28 Pipe.
Cleanout risers to be provided at retaining wall ends and corners to allow for maintenance of wall drainage system. Riser to be 150mm solid PVC pipe connected to wall drain by 'Tee' fitting. Conventional cap on cleanout.

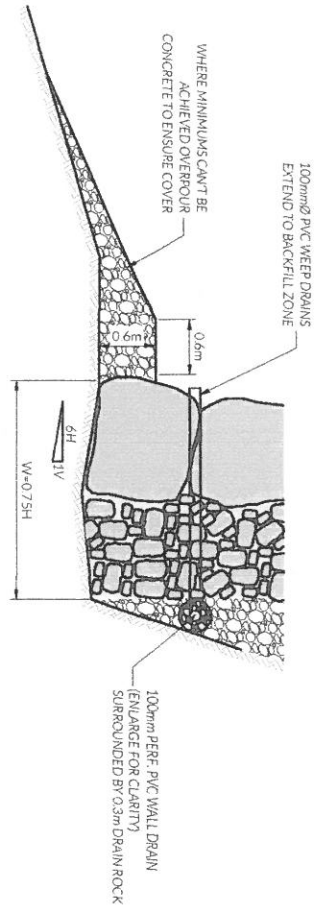
4.0 REQUIRED INSPECTIONS:

- 4.1 Coast Geotechnical must be contacted to review wall construction at the following stages:
- Following excavation to undisturbed subgrade.
- Following compaction of leveling pad fill.
- Regular reviews following stacking/at the time of concrete infill.
- Following final backfill to confirm suitable final grades and embedment.

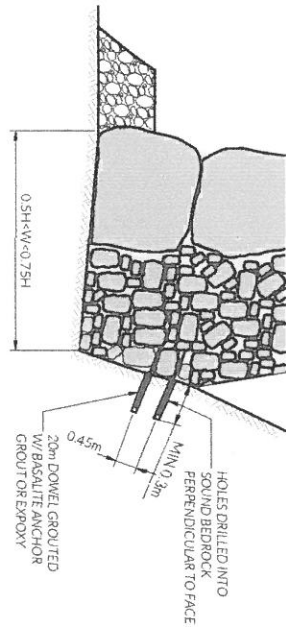


PROJECT NO: 21-110		Coast Geotechnical 		BOULDER CONCRETE INFILL WALL 1258 BURNSIDE ROAD, VIEW ROYAL		NO		DATE		REVISIONS:	
DATE: FEB 14, 2022		778-400-8090 917 Echo Valley Place Victoria, B.C.									
DRN BY: JAA		APPD: B.S.									
								RW-1			
								NOTES			

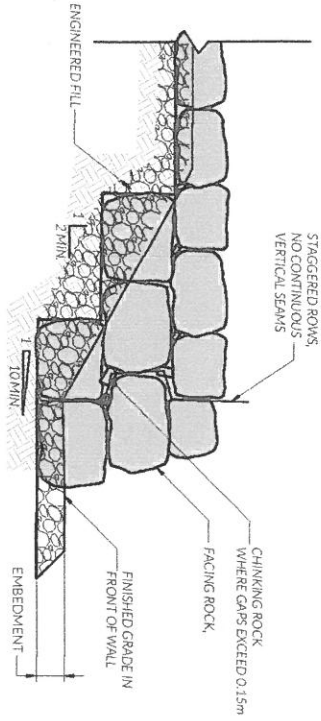
Coast Geotechnical
778-400-8090 | 917 Echo Valley Place | Victoria, B.C.



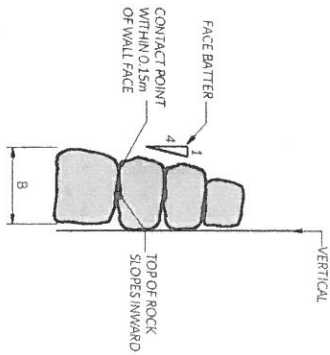
DETAIL 1: TYPICAL BASE
SCALE N.T.S.



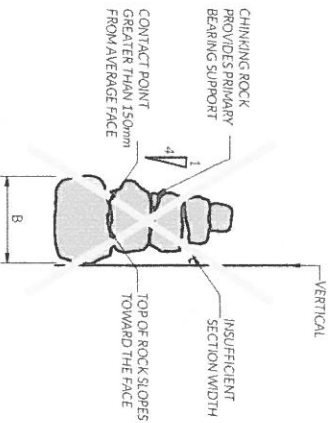
DETAIL 2: DOWELED BASE (IF NECESSARY)
SCALE N.T.S.



DETAIL 3: WALL RETURN
SCALE N.T.S.



DETAIL 4: STACKING
SCALE N.T.S.

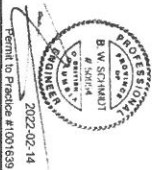


PROJECT NO.	21-110
DATE	FEB 14, 2022
DESIGN BY	JAA
APPROVED BY	B.S.

Coast Geotechnical
778-400-8090 | 917 Echo Valley Place | Victoria, B.C.

BOULDER CONCRETE INFILL WALL
1258 BURNSIDE ROAD, VIEW ROYAL

REV.	DATE	REVISIONS
1		
2		
3		
4		
5		



March 1st, 2022

SCHEDULE 4

Re: Application to the Board of Variance in regards to 1258 Burnside Rd. W.

I first of all would like to Thank You for listening to our concerns.

I would like to start by saying that my understanding of the Board of Variance is to authorize a minor variance within the town's provisions. An application by the residents of 1258 Burnside Rd. to make a change from 1.4 m to 4.8 m. is not "minor" at all.

One of our concerns would be the construction of this retaining wall. The construction would include usage of boulders and cement. Our main concern is because we live directly in front of their area where they propose this wall. Proper drainage would be paramount so as to not drain water through pipes into our back yard. It could very well seep down the yard and eventually find to leak into the foundation of our home. That would be very destructive. Also months of heavy equipment use with sands and vibrations could be destructive to our home's integrity.

We also have very large trees in our backyard. Building a wall that size could very well ~~the~~ compromise the water flow and possibly kill the tree. Keeping the root systems would be left in tact.

This next paragraph has to do with a personal note of our property. Within a week of moving in the man asked if he could trim a few branches back on our tree from the front yard. The tree is adjacent to his driveway. I had said he could take a few and trim a few so he could see with his truck. He proceeded to hack and chop away 5 and 6 feet long pieces and destroying the side area of the tree. A little while after that he was trimming and chipping away at our grass line saying he wanted to widen his driveway. We have a water line close to his trimming and I mentioned that to him. It went on deaf ears. Now their tenants and their big trucks drive up and down leaving tire marks in our grass. We feel that there has been an harassment tactic used by them to achieve their goals.

I would like to say that we have always thought that your home is your sanctuary and your peaceful abode. It hasn't felt like that to my wife and I. Thank you for your attention in this matter.

John Stetter

1260 BARNSIDE RD.
WEST.

RECEIVED

MAR 01 2022

TOWN OF VIEW ROYAL

March 2, 2022

Re: Application to the Board of Variance - 1258 Burnside Rd W

Dear Council,

We are the residents and homeowners of 205 Shadow Ridge Place. The back side of our property borders the north side of 1258 Burnside Rd W.

We are opposed to this application.

The reason for our opposition is because we are very concerned the construction of this retaining wall will divert the flow of water that currently feeds and nourishes two very large (+100 ft) Douglas Fir trees in our backyard.

The reality of water diversion and killing trees is something that we have already lived through. When we built our house approximately 20 years ago, there were three very large and healthy Douglas Fir trees in our backyard. Approximately 3 years after our house was built, one of the trees suddenly died. At that time a tree specialist told us that the tree may have died because the reconfiguration of the lot's surface diverted the water supply to the trees. The water supply was not cut off completely but it was altered enough that the water supply was no longer able to support the needs of all three trees. (It is important to note the builder followed all the protocols to protect the trees and none of the trees were harmed during construction).

The remaining two Douglas Fir trees are downhill and approximately 20 and 30 feet from the proposed retaining wall. This retaining wall would require a water management plan that would divert water away from the wall in order to ensure the wall's integrity. Construction of the wall and the necessary water management system would most certainly change the water flow and there is a significant probability that this would have a devastating impact on not only the trees on our property but also the trees on the neighbouring properties.

We appeal to you to reject this application or in the very least we ask that you call for a professional and unbiased report to thoroughly analyze the hydrological changes and the potential affect the retaining wall will have on the surrounding natural environment.

Sincerely,



Mark and Donna Somer